

Article 4, Division II - Commercial and Mixed-Use Districts

Sec. 4.10 General Provisions

- A. The intent of the Commercial and Mixed-Use Districts is to protect established commercial and mixed-use areas as well as promote well designed and properly located future developments that create minimal impact on adjacent, incompatible districts.
- B. The district provisions discourage any use that would substantially interfere with the retail, service or office function of the districts. Compatible park, open space, utility and civic uses as well as integrated residential dwelling units are permitted in Commercial and Mixed-Use Districts as identified in Article 2, Uses, Use Regulations and Restrictions.

Sec. 4.11 Interpretation

The following graphics depict the interpretation of lot development standards. The official definitions for these terms can be found in the Article 15, Definitions.

Ⓐ Lot Width	Ⓕ Accessory Side Yard Setback
Ⓑ Lot Depth (Interior or Through Lot Only)	Ⓖ Accessory Rear Yard Setback
Ⓒ Principal Building Front Yard Setback	Ⓗ Buildable Area
Ⓓ Principal Building Side Yard Setback	Ⓘ Principal Building Maximum Height
Ⓔ Principal Building Rear Yard Setback	⓵ Accessory Building Maximum Height

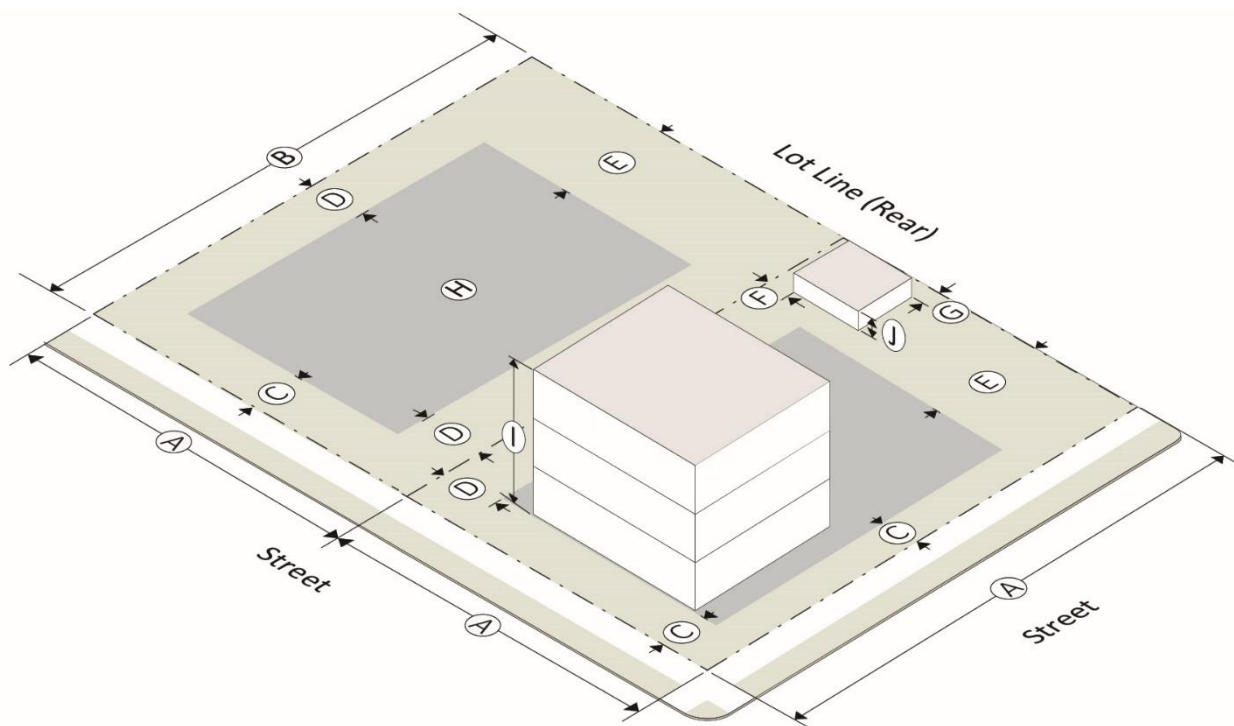


Figure 4.11-1

Sec. 4.12 PUD Planned Unit Development.

A. Purpose

The PUD district is intended to permit the planning and development of parcels of land that are suitable in location and character for the uses proposed as unified and integrated developments in accordance with detailed development plans. These plans may supersede the regulations included in Articles 1-15 of the Unified Development Code (UDC) where indicated by these development plans. The PUD district is intended to provide a means of accomplishing the following specific objectives:

- (1) To provide for development concepts not otherwise allowed within non-PUD zoning districts;
- (2) To provide flexibility, unity, and diversity in land planning and development, resulting in convenient and harmonious groupings of uses, structures and common facilities;
- (3) To accommodate varied design and layout of housing and other buildings;
- (4) To allow appropriate relationships of open spaces to intended uses and structures;
- (5) To encourage innovations in quality residential, commercial, and industrial development and renewal so that the growing demands of the population may be met by greater variety in type, design, and layout of buildings and by the conservation and more efficient use of open space;
- (6) To lessen the burden of traffic on streets and highways; and
- (7) To provide a procedure that can relate the type, design, and layout of residential, commercial, and industrial development to the particular site, thereby encouraging preservation of the site's natural characteristics.

B. Lot Development Standards

Table 4.12-1

Lot Dimensions	
Minimum Lot Area	5-acres minimum INITIAL development site
Minimum Lot Width	
Minimum Lot Frontage	
Maximum Density	
Minimum Setbacks	
<i>Principal Building</i>	
Front	
Side	
Rear	
<i>Accessory Building</i>	
From Principal Structure	
Front	
Side	
Rear	
Maximum Height	
Principal	
Accessory	
Minimum Floor Area	
Impervious Surface Coverage	

Minimum Standards.

- (1) No PUD district may be established without the concurrent approval of the Overall Development Standards (ODS) and an Overall Development Plan (ODP) by the Board of Commissioners, in accordance with the provisions herein.
- (2) PUD districts shall have a minimum contiguous area of five acres.
- (3) PUD districts shall provide a mix of a minimum of two of the following use categories, whether fully private or in partnership with public entities, and/or must contain two or more residential type uses and densities (units per acre), which shall be accommodated in each building in vertical mixed-use development configuration or horizontally throughout the areas within the proposed development boundary:
 - a. Residential single-family detached
 - b. Residential attached single-family or multifamily units;
 - c. Commercial offices;
 - d. Retail;
 - e. Hotel/Lodging;
 - f. Light Industrial, warehousing, and/or distribution uses;
 - g. Civic/Convention/Sports uses, or
 - h. Agricultural Uses
- (4) Twenty percent open space, which shall include a town center, community green, park, or other community focal point.
- (5) The boundaries of each PUD, upon approval, must be shown on the Zoning Map, shall be in conformance with the adopted Comprehensive Plan, and the approved Overall Development Plan.
- (6) Any development standards not expressly defined by the ODS shall be regulated by the development standards as applicable and expressed in Articles 1-15 of the UDC.

C. Supplemental Regulations

Application of Regulations.

- (1) Overall Development Standards (ODS). Development of the PUD is governed by the ODS that designates the standards of zoning and development for the property. These standards will replace the development standards in the UDC and should include, at a minimum, the following:
 - a. Permitted and prohibited uses;
 - b. Maximum FAR and/or density of units;
 - c. Maximum impervious surface;
 - d. Minimum open space;
 - e. Minimum and Maximum building height;
 - f. Minimum lot size;
 - g. Required Yard setbacks;
 - h. Maximum block length;
 - i. Parking requirements; and
 - j. Building massing.
- (2) Overall Development Plan (ODP) - Development of the PUD is also governed by the ODP which includes a series of plans and design related documents regulating the development of the property. At a minimum, the ODP shall include the following:

a. Analysis of Existing Conditions. An analysis of existing site conditions including a boundary survey and topographic map of the site at a minimum 1 inch = 40 feet scale shall include information on all existing manmade and natural features, utilities, all streams and easements, and features to be retained, moved or altered. The existing shape and dimensions of the existing lot to be built upon including the size, measurement and location of any existing buildings or structures on the lot shall be included.

b. Overall Master Plan. A masterplan at a minimum 1 inch = 40 feet scale outlining all proposed regulations and calculations which shall include, but not be limited to, information on all proposed improvements including proposed building footprints, doors, densities, parking ratios, open space, height, sidewalks, yards, under and over-head utilities, internal circulation and parking, landscaping, grading, lighting, drainage, amenities, and similar details including their respective measurements.

c. Phasing Plan. Should a PUD be expected to require five years or longer to complete, a phasing plan shall be provided by the applicant that indicates the timeframe for construction and development of different aspects of the PUD.

d. Regulating Plan. A regulating plan shall be provided with street types and open space for all property within the PUD boundary. The regulating plan shall be keyed to a set of standards developed based on location. This plan should consider how all modes of transportation will be accommodated including pedestrians, bicycles, cars, transit, rideshare, etc. Detailed cross sections shall also be included in this plan or as an attachment to this plan.

e. Streetscape and Hardscape Manual. A streetscape and hardscape manual shall be created that includes specifications for the following: sidewalk clear zones, landscape zones, supplemental zones including details regarding lighting fixtures, on-street parking, street furniture, landscape materials and other amenities. A streetscape map shall accompany this manual that identifies appropriate streetscape and hardscape designs for all streets, plazas, open space, locations for public art etc. within the plan.

f. Architectural Pattern Book. An Architectural Pattern Book demonstrating approved building materials, features, exterior finishes, windows, doors, colors, and other items affecting exterior appearance, such as signs, mechanical systems, fencing, etc. The pattern book shall include renderings of proposed buildings.

(3) To the extent that the approved ODS and ODP for a PUD contradict the development regulations and this UDO, the approved ODS and ODP for the PUD district governs.

(4) Due to the mixed-use nature of PUD proposals, design must be determined based upon the context and guidance of the comprehensive plan and specific character area plan area in which the PUD is located, as applicable.

(5) Any additional information deemed necessary by the Development Services Department to determine compliance with ordinance standards.

D. PUD Perimeter Compatibility

Land uses developed at the perimeter of the site shall be developed in a manner that is compatible with adjacent off-site land uses or zoning, or a 100-foot wide buffer shall be provided between the uses in the PUD and the perimeter of the site. Compatibility shall be judged on the basis of similar land uses, average lot sizes, setbacks, and other development standards.

E. Traffic Study.

Traffic Study Required. A traffic study shall be required by the developer to determine the impact of the proposed development on the existing roadway system if the number of dwelling units exceeds 50 dwelling units or the non-residential components exceed 100,000 square feet of gross floor area (See Article 15 Traffic Study definition for required components).

Sec. 4.13 O-I Office-Institutional

A. Purpose

The Office District is established to promote a denser office environment allowing low rise, mid-rise and high-rise office buildings and accessory retail uses. This zone is intended to be located in or adjacent to heavy concentrations of commercial or light industrial uses such as central business districts or nodes, interchange areas, or industrial or office parks. The District also functions as a transitional zone from commercial and light industrial uses to less intensive uses such as single-family residential and multi-family uses.

B. Lot Development Standards

Table 4.13-1

Lot Dimensions	
Minimum Lot Area	20,000 sf with sewer; 1 ac on septic
Minimum Lot Width	n/a
Minimum Lot Frontage	50'
Maximum Density	n/a
Minimum Setbacks	
Principal Building	
Front	50'
Side	15' if adjacent to non-residential district 30' if adjacent to residential district
Rear	15' if adjacent to non-residential district 30' if adjacent to residential district
Accessory Building	
From Principal Structure	0'
Front	Not-Permitted
Side	5' if less than 144 sf
Rear	15' if greater than 144 sf
Maximum Height	
Principal	50' plus one foot of height for each foot of setback distance over 50' to the closest property line of any residential district not to exceed 150" in height
Accessory	15'
Impervious Surface Coverage	
	80% with a minimum of 20% maintained as open area
Minimum Building Separation	
	20'

Ⓐ Lot Width	Ⓕ Accessory Side Yard Setback
Ⓑ Lot Depth (Interior or Through Lot Only)	Ⓖ Accessory Rear Yard Setback
Ⓒ Principal Building Front Yard Setback	Ⓗ Buildable Area
Ⓓ Principal Building Side Yard Setback	Ⓖ Principal Building Maximum Height
Ⓔ Principal Building Rear Yard Setback	Ⓙ Accessory Building Maximum Height

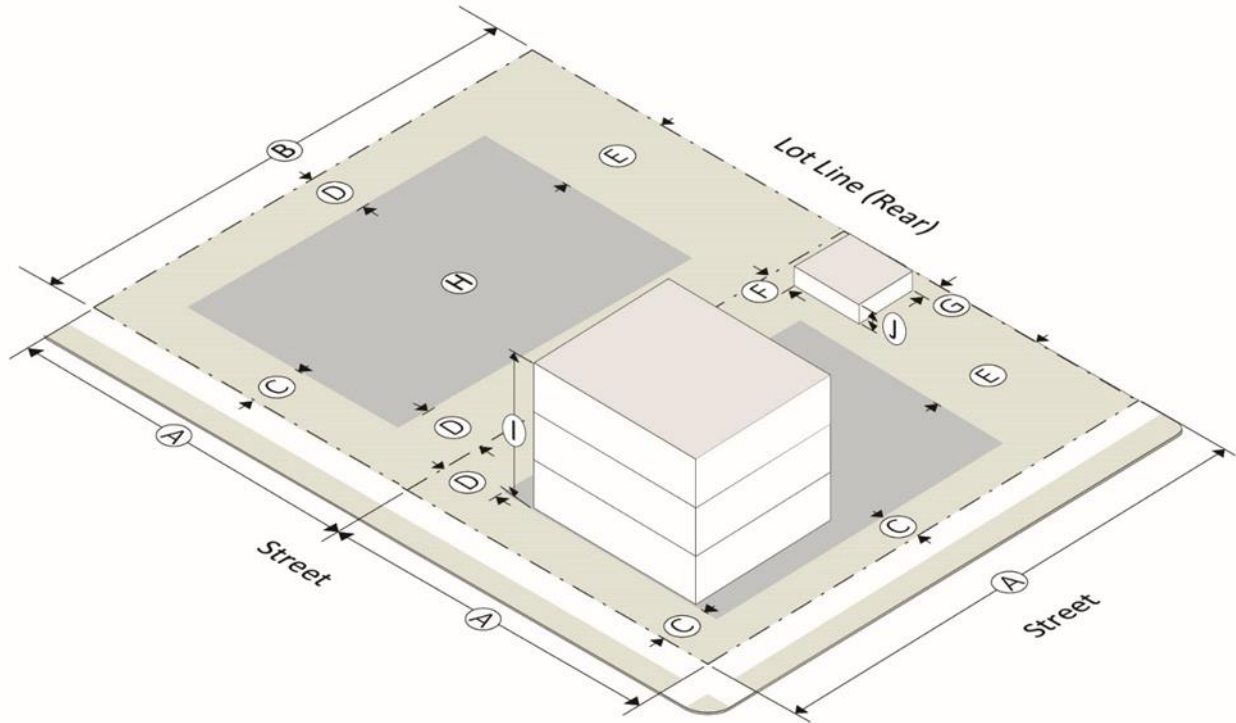


Figure 4.13-1

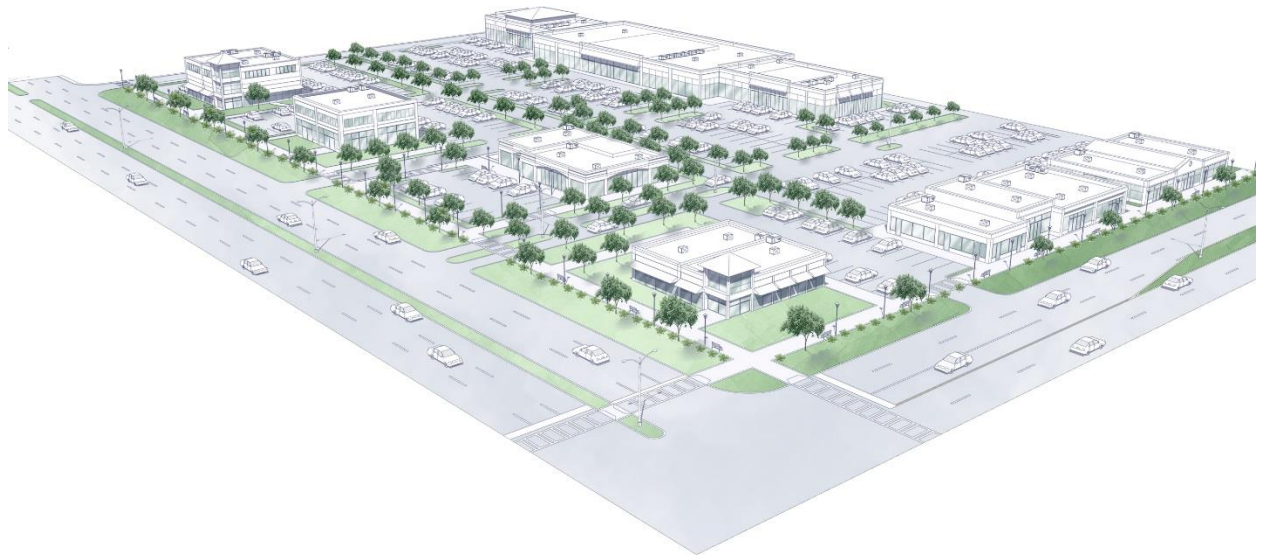


Figure 4.13-2

C. Supplemental Regulations

1. Principle and Accessory use regulations shall be as established in Article 2, Use of Land and Structures and Article 3, Restrictions on Particular Uses.

Sec. 4.14 CG - General Commercial

A. Purpose

The C-G General Commercial District is established to protect and promote a suitable environment for those retail commercial uses that benefit from close proximity to each other. The District is intended to serve as the location of regional and sub-regional centers for retailing, finance, and professional and general office activities. Its primary purpose is to group their uses together in a compact area designed to accommodate pedestrian movement. General commercial areas are characterized by shopping centers containing department stores, big box retailers such as Home Depot and PetSmart, discount clubs and retail and service establishments serving a wide market area. Commercial uses commonly found in neighborhood and community commercial areas also are found in general commercial areas.

B. Lot Development Standards

Table 4.14-1

LOT DIMENSIONS	
Minimum Lot Area, Sewered ¹	10000 SF
Minimum Lot Area, Non-Sewered ¹	1 AC
Minimum Lot Width, Sewered ²	60 FT
Minimum Lot Width, Non-Sewered ²	60 FT
Minimum Lot Frontage ³	50 FT
Maximum Density	N/A
MINIMUM SETBACKS	
<i>Principal Building</i>	
Front setback, Major Thoroughfare ⁴	50 FT
Front setback, minor street, min ⁵	30 FT
Side setback, min ⁶	10 FT
Rear setback, min ⁶	10 FT
<i>Accessory Building (≤ 144 sf)</i>	
From Principal Building	N/A
Front	N/A
Side	5 FT
Rear	5 FT
<i>Accessory Building (≥ 144 sf)</i>	
From Principal Building	N/A
Front, Major Thoroughfare ⁵⁷	50 FT
Front, Minor Thoroughfare ⁵⁷	30 FT
Side ⁶	15 FT if adjacent to non-residential district 50 FT if adjacent to residential district
Rear ⁶	15 FT if adjacent to non-residential district 50 FT if adjacent to residential district
MAXIMUM HEIGHT⁸⁹	
Principal ¹⁰	3 stories or 40 FT

Accessory ¹⁰	3 stories or 40 FT
Impervious Surface Coverage	N/A
Minimum Building Separation	N/A
Maximum Floor Area	N/A

- (1) (See Section 4.29(b) for excluded areas. See Section 4.31(b) for lot size increases.
- (2) See Section 4.31(b)(5) for minimum lot widths where an on-site sewage management system is located. See Section 4.32(b) for lot width increases.
- (3) 35 FT on a cul-de-sac or at such length specifically permitted within individual district regulations.
- (4) A major thoroughfare is any road for which the minimum required right-of-way is 80 feet or more, such as a major or minor arterial or a nonresidential collector. See Table 10.1 for right-of-way widths.
- (5) Minor streets include all streets for which the minimum required right-of-way is less than 80 feet, such as a residential collector road or a local residential street. See Table 10.1 for right-of-way widths.
- (6) Side and rear yard setbacks are measured from the property line or, when a zoning buffer is required under Article 8, from the boundary of the buffer interior to the property.
- (7) No detached accessory building may be located in the front yard of a lot unless it is at least one hundred (100) feet from the right-of-way.
- (8) The vertical distance measured to the highest point of a building from the average finished grade across those sides of a building that face a street.
- (9) See Section 436(b)(1) for exemptions.
- (10) Fifty (50) feet on a lot of at least one (1) acre, located on a major arterial road if no nearer than seventy five (75) feet to the rear or side property lines and no nearer than one hundred (100) feet to adjacent residentially-zoned property

C. Ⓐ Lot Width	D. Ⓕ Accessory Side Yard Setback
E. Ⓑ Lot Depth (Interior or Through Lot Only)	F. Ⓖ Accessory Rear Yard Setback
G. Ⓒ Principal Building Front Yard Setback	H. Ⓗ Buildable Area
I. Ⓓ Principal Building Side Yard Setback	J. Ⓘ Principal Building Maximum Height
K. Ⓔ Principal Building Rear Yard Setback	L. Ⓣ Accessory Building Maximum Height

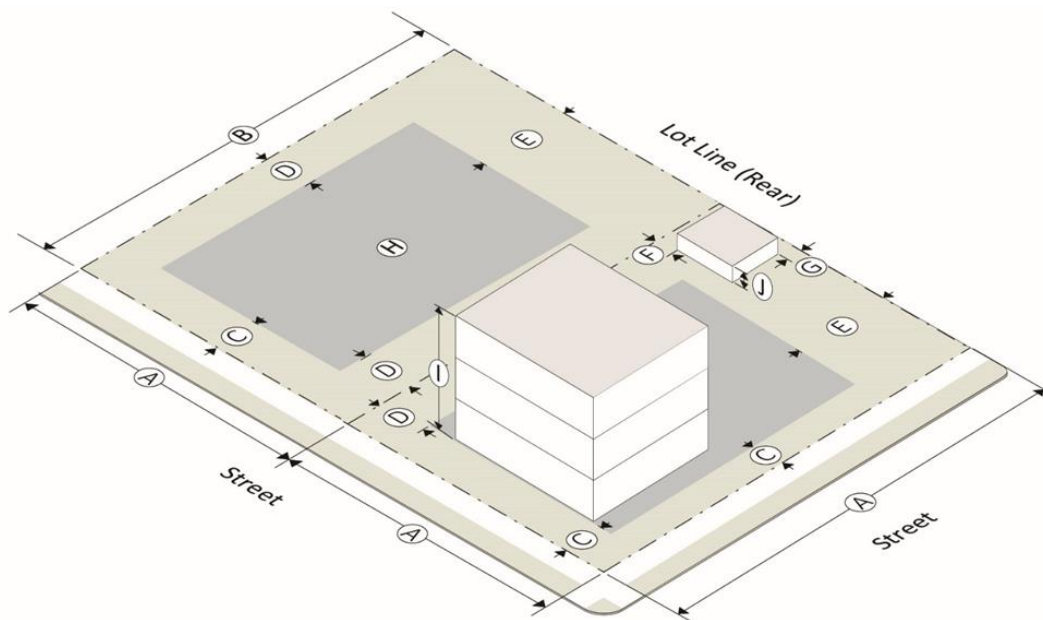


Figure 4.14-1



Figure 4.14-2



Figure 4.14-2

C. Supplemental Regulations

1. Principle and Accessory use regulations shall be as established in Article 2, Use of Land and Structures and Article 3, Restrictions on Particular Uses.
2. Properties over five contiguous acres in size may be required to provide additional landscaping and buffering and may also be required to ensure appropriate connectivity to surrounding streets and pedestrian walkway systems.

Sec. 4.15 CH - Heavy Commercial

A. Purpose

The C-H Heavy Commercial District is established to protect and promote a suitable environment for those commercial uses that benefit from direct access to major streets or are located on major streets and thoroughfares that are classified as major arterial roads or interstate highways. Such uses commonly which generate loud noises and require large areas for open storage or generate substantial motor vehicle traffic.

B. Lot Development Standards

Table 4.15-1

Lot Dimensions	
Minimum Lot Area	10,000 sq. feet on sewer, 2 acres on septic
Minimum Lot Width	None
Minimum Lot Frontage	50' required on a major thoroughfare
Maximum Density	Depending on an approved development plan if residential is incorporated
Minimum Setbacks	
<i>Principal Building</i>	
Front	50' from the major thoroughfare applies to all structures including service areas and access drives. Front setbacks to the internal road network are recommended to be 0'
Side	15' if adjacent to non-residential district at external lot line 50' if adjacent to residential district at external lot line Internal side yard setbacks are recommended to be 0'
Rear	15' if adjacent to non-residential district 50' if adjacent to residential district
<i>Accessory Building</i>	
From Principal Structure	0'
Front	Not Permitted
Side	5' if less than 144 sf
Rear	15' if greater than 144 sf
Maximum Height	
Principal	50' plus one foot of height for each foot of setback distance over 50' to the closest property line of any residential district not to exceed 150" in height
Accessory	15'
Impervious Surface Coverage	100%, however open spaces and pedestrian gathering spaces are encouraged
Minimum Building Separation	20'
Maximum Floor Area	100,000 sf

Ⓐ Lot Width	Ⓕ Accessory Side Yard Setback
Ⓑ Lot Depth (Interior or Through Lot Only)	Ⓖ Accessory Rear Yard Setback
Ⓒ Principal Building Front Yard Setback	Ⓗ Buildable Area
Ⓓ Principal Building Side Yard Setback	Ⓘ Principal Building Maximum Height
Ⓔ Principal Building Rear Yard Setback	⓵ Accessory Building Maximum Height

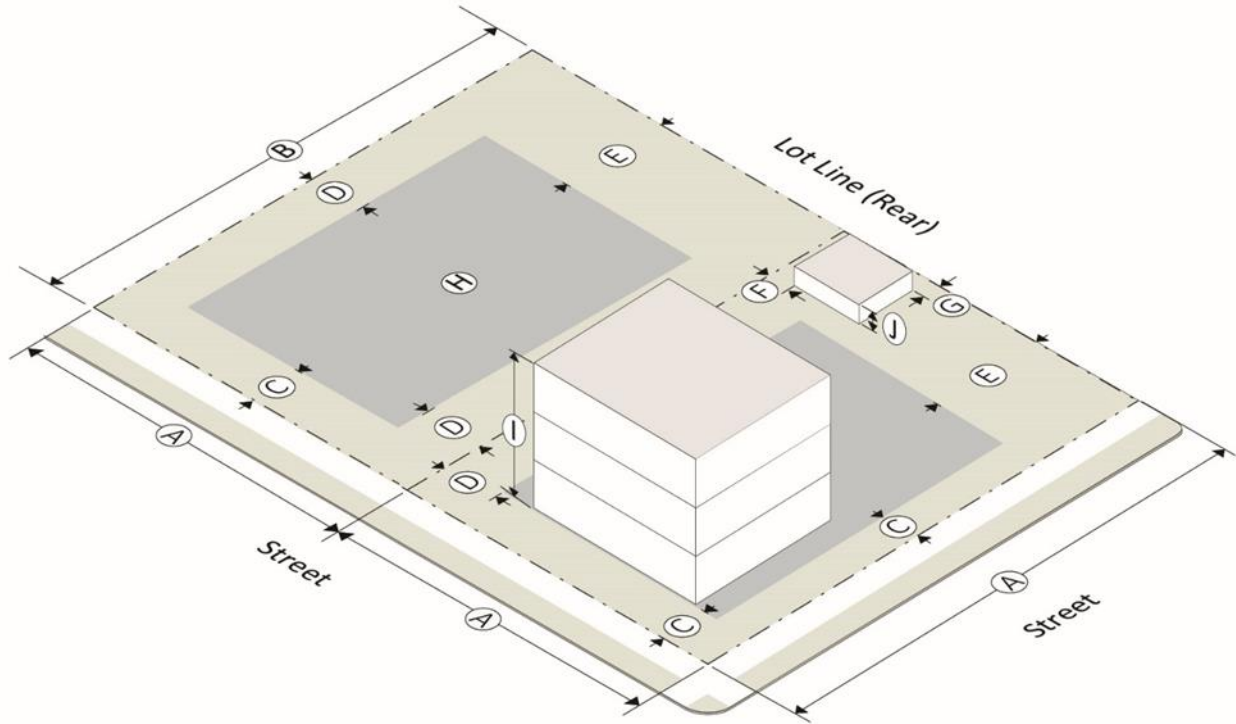


Figure 4.15-1



Figure 4.15-2



Figure 4.15-3



Figure 4.15-4

C. Supplemental Regulations

1. Principle and Accessory use regulations shall be as established in Article 2, Use of Land and Structures and Article 3, Restrictions on Particular Uses.
2. Properties over five contiguous acres in size may be required to provide additional landscaping and buffering and may also be required to ensure appropriate connectivity to surrounding streets and pedestrian walkway systems.

Sec. 4.16 PSP Public-Semi Public

A. Purpose

The PSP Public-Semi Public district is established to provide a district for public, quasi-public and semi-public uses, including government buildings, schools and publicly owned parks and recreation facilities, in accordance with the comprehensive plan for the County.

B. Lot Development Standards

Table 4.16-1

Lot Dimensions	
Minimum Lot Area	n/a
Minimum Lot Width	n/a
Minimum Lot Frontage	n/a
Maximum Density	n/a
Minimum Setbacks	
Principal Building	
Front	50' on major road, 30' on minor
Side	10' 30' if adjacent to residential district
Rear	10' 30' if adjacent to residential district
Accessory Building	
From Principal Structure	5'
Front	Not Permitted
Side	5' if less than 144 sf
Rear	15' if greater than 144 sf
Maximum Height	
Principal	50' plus one foot of height for each foot of setback distance over 50' to the closest property line of any residential district not to exceed 150" in height
Accessory	15'
Impervious Surface Coverage	
	80%

C. Supplemental Regulations

1. Principle and Accessory use regulations shall be as established in Article 2, Use of Land and Structures and Article 3, Restrictions on Particular Uses.